

Section '4' - Applications recommended for REFUSAL or DISAPPROVAL OF DETAILS

**Application No :** 14/02076/FULL1

**Ward:**  
**Copers Cope**

**Address :** 7 Courtenay Drive Beckenham BR3 6YE

**OS Grid Ref:** E: 538598 N: 169129

**Applicant :** Mr Leonard King

**Objections :** YES

**Description of Development:**

Erection of detached two-storey, 3 bedroom dwelling house, with detached single garage and associated residential curtilage.

Key designations:

Biggin Hill Safeguarding Birds  
Biggin Hill Safeguarding Area  
London City Airport Safeguarding  
London City Airport Safeguarding Birds  
Open Space Deficiency

**Proposal**

The scheme proposes the erection of a detached two-storey, 3 bedroom dwelling house, with detached single garage and associated residential curtilage.

**Location**

The site is located within a residential area and to the east side of Courtenay Drive; it is currently part of the residential curtilage of number 7 Courtenay Drive. The location is a small cul-de-sac characterised by large, two storey, detached dwellings of similar design; each dwelling has a detached double garage. The location is 'open' in character with the absence of front boundary fencing and there are a number of trees with preservation orders within the vicinity. The land levels fall away to the south and east in this particular vicinity.

**Comments from Local Residents**

Nearby owners/occupiers were notified of the application and representations were received which can be summarised as follows:

- principle of development
- impact on amenity - prospect, outlook and privacy

- sense of enclosure
- loss of light through overshadowing
- adversely affect living in house - privacy, obstruction of light, environment - green area facing house currently; restricted parking
- out of context
- 3 bed house will not fit in - all 10 houses are 4-5 bedroom
- design
- overdevelopment; not enough land & insufficient rear garden
- covenant in place
- affect property values
- the current layout allows for each house to be set well in their plot with a reasonable size garden. This helps maximum privacy and light
- proposed house appears too proud in relation to existing houses in Courtenay Drive - intrusive
- set too near the road - cause access and parking problems
- concern with problems with drains

### **Comments from Consultees**

No objections are raised by Thames water in respect of water infrastructure capacity. In respect of surface water drainage conditions are suggested in the event of a planning permission. With regard to public sewers Thames Water advise that there are public sewers crossing or close to the development site and that approval should be sought where the erection of a building would come within 3 m of a public sewer. They advise that Thames Water will usually refuse such approval in respect of the construction of new buildings.

Highways comments note that the development is situated to the east of Courtenay Drive and is located in an area with low PTAL rate of 2. The car parking is accessed via Courtenay Drive leading to 2 off street spaces which is acceptable. Concerns are raised with visibility splays to the south which would need to be improved as there is a large overgrown flora interfering with sightline(s). In respect of cycle parking, none is indicated on the submitted plans; 1 space per 1 or 2 bed unit and 2 per 3 or more bed unit are required. Conditions are suggested in the event of a planning permission.

### **Planning Considerations**

The application falls to be determined in accordance with the NPPF, the London Plan and the following policies of the Unitary Development Plan:

- BE1 Design of New Development
- H7 Housing Density and Design
- H9 Side Space
- T3 Transport and Road Safety
- T18 Transport and Road Safety

Supplementary Planning Guidance 1

Supplementary Planning Guidance 2

## Conclusions

The main issues relating to the application are the effect that it would have on the character of the area and the impact that it would have on amenities of the occupants of surrounding residential properties.

Policy BE1 requires that development should not detract from the existing street scene and that space about buildings should provide opportunities to create attractive settings with hard or soft landscaping. The slope of the land rises on the approach to this application site and the siting of the proposed dwelling is in a prominent position within the cul-de-sac. The existing detached dwellings within this cul-de-sac create a strong identity and provide a rhythm and uniformity to the area which serve to enhance its character and appearance. It is considered that the proposed development would appear alien and out of keeping with the surrounding area. Whilst the comments in the supporting statement are noted, given the strong identity of the existing development within the cul-de-sac it may be considered that the introduction of development in this location is unlikely to be considered acceptable given the importance that this open space contributes to the existing street scene. It is noted that a number of neighbour objections have been received in respect of the principle of development in this location.

Neighbour objections have been raised in respect of overshadowing and impact on amenity in relation to prospect, outlook and privacy and the sense of enclosure that would occur. It is considered that the relationship of the proposed development, particularly to No 9 given the difference in levels, is likely to be overbearing and give rise to a degree of overlooking. It is recognised that a certain degree of mutual overlooking will occur within such suburban settings and therefore careful consideration must be given in this respect.

A number of neighbour concerns are raised in relation to Highways issues; the on-site parking provision within the proposal is considered satisfactory from a Highways point of view although concerns are raised in respect of sightlines and provision of cycle parking.

Objections in respect of covenants are a private matter between the parties concerned and do not invite planning comment. Although it is recognised that the potential effect on property values is of local concern it is not a matter that can be taken into account under planning considerations.

Objections in respect of Drainage are noted; the applicants are advised to contact Thames Water in relation to the proximity of the proposal to a public sewer.

An additional submission was received from the applicant in response to neighbour objections which advised that there is normally no problem with congestion as vehicles are parked on driveways; the only time congestion occurs is due to visitor parking which blocks turning space at the end of the road; does not believe the sewer pipe is not fit for purpose.

In the event of a planning permission it should be noted that this proposed development is likely to be CIL liable.

Given the constraints of the site and the impact that the proposed development is likely to have in respect of impact on the street scene and neighbouring amenities it is recommended that permission be refused.

Background papers referred to during production of this report comprise all correspondence on the file ref(s) set out in the Planning History section above, excluding exempt information.

as amended by documents received on 18.07.2014

### **RECOMMENDATION: PERMISSION BE REFUSED**

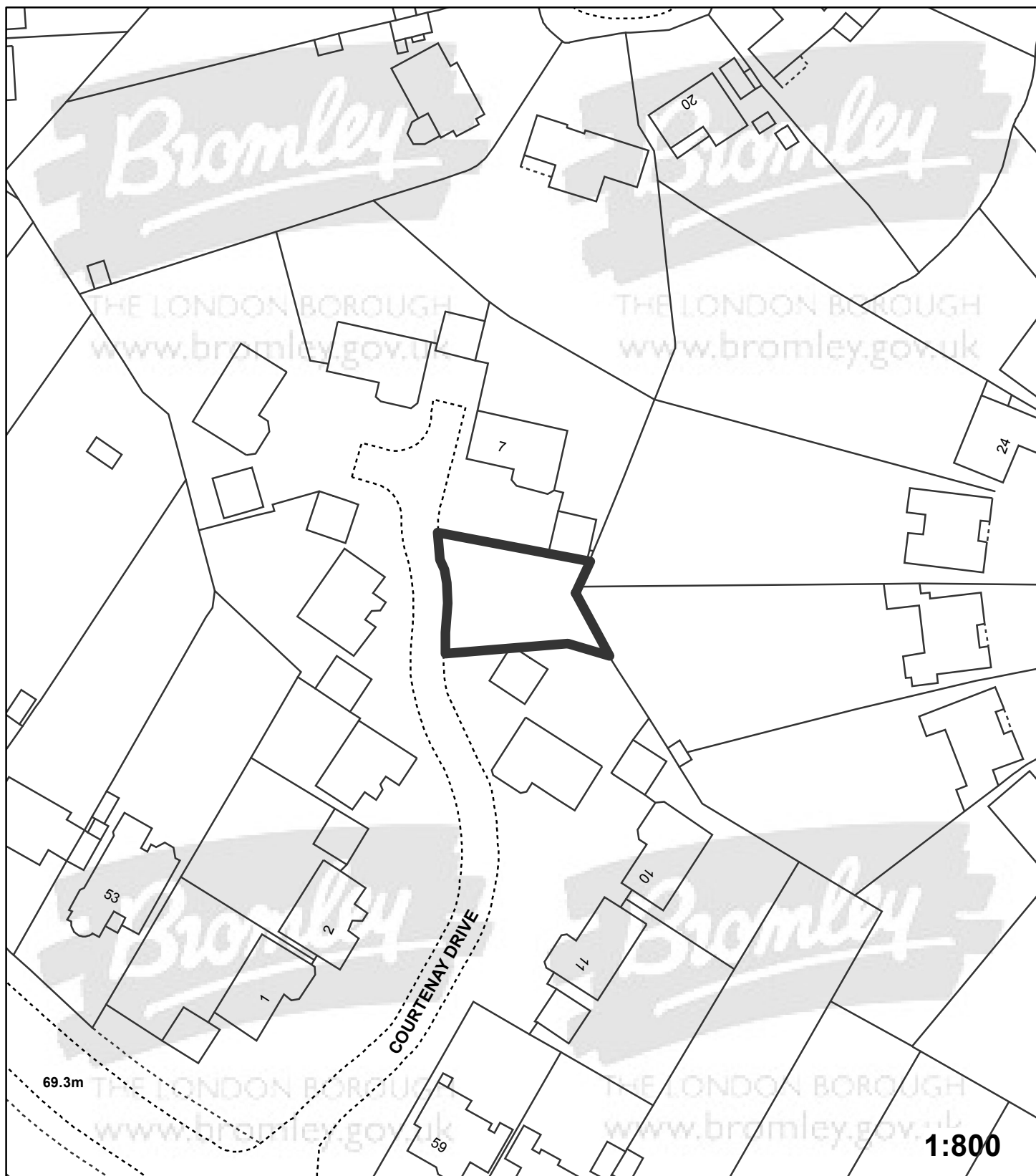
The reasons for refusal are:

- 1 The proposed development would be seriously out of character and scale in this locality giving an cramped and alien appearance to the street scene, thereby contrary to Policies H7 and BE1 of the Unitary Development Plan.
- 2 The development of this site, by reason of its size, siting and design would be out of character with adjacent properties and would introduce a discordant and disruptive feature, detrimental to the appearance of the street scene in general thereby contrary to Policies H7 and BE1 of the Unitary Development Plan.
- 3 The proposal would be overdominant and would be detrimental to the amenities that the occupiers of adjoining properties might reasonably expect to be able to continue to enjoy by reason of overlooking, visual impact and loss of prospect, contrary to Policies H7 and BE1 of the Unitary Development Plan.
- 4 Adequate sight lines to the proposed access cannot be obtained within the application site thereby contrary to Policy T18 of the Unitary Development Plan.

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"This plan is provided to identify the location of the site and should not be used to identify the extent of the application site"

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